



VIRTUAL TOUR PORTAL -----

<https://3d-viewer.chiefarchitect.com/go?share=236215205015350>



Tract 56
Roundtop Ranch
Estates

Project Overview



CLIENT INFO:

**PROGRESSIVE
CONSTRUCTION, INC.**
www.pconco.com
THE FIRST

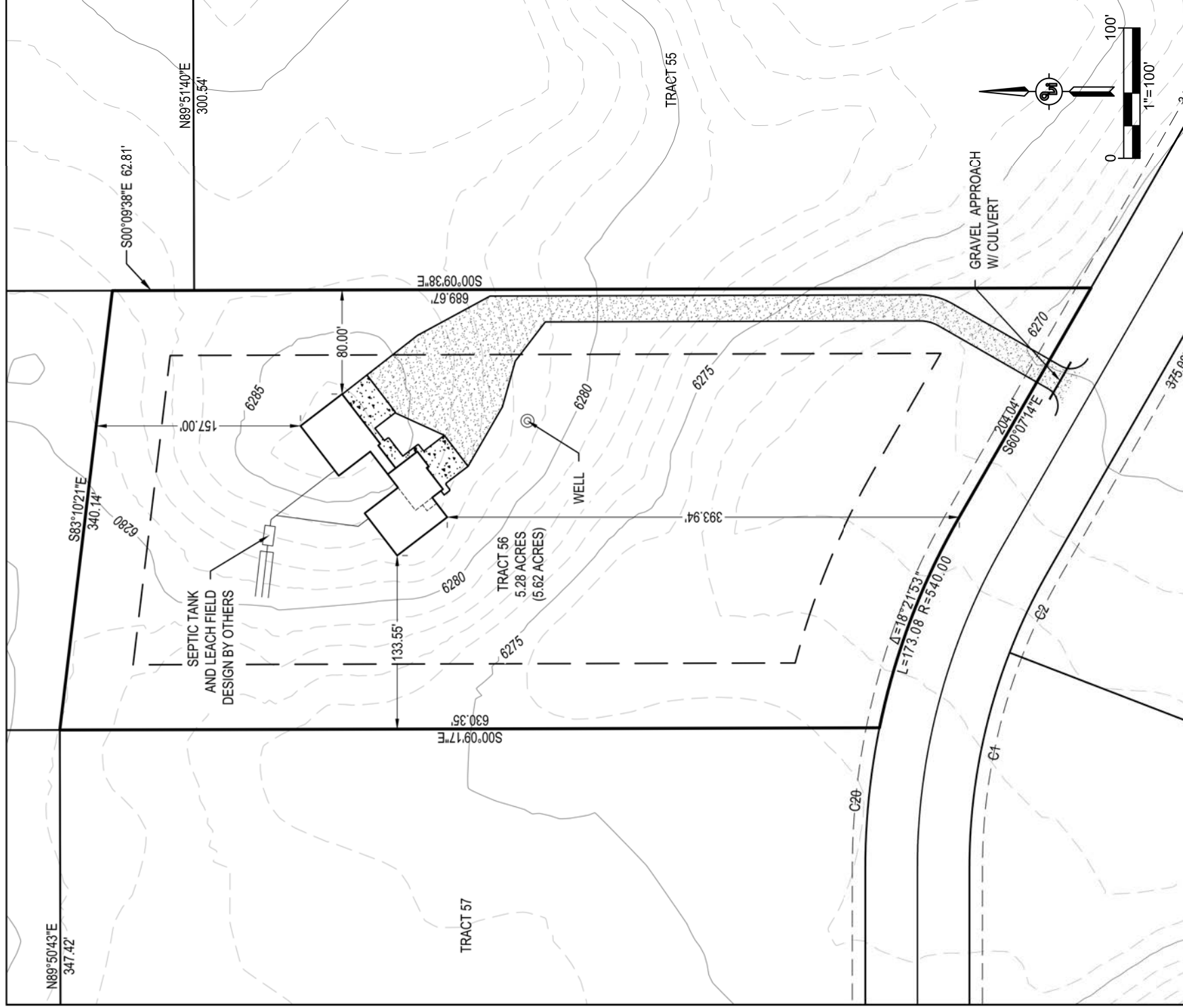


DRAWINGS
PROVIDED
BY:

DATE:
3/29/2026

SCALE:

SHEET:
P-1



- PROPERTY LINE
 - - - EASEMENT LINE
 - - - ZONED LU
 - - - SETBACKS - 75' FRONT, 50' SIDE AND 50' BACK TRACT LINES
- BUILDER SHALL VERIFY THAT THERE IS POSITIVE DRAINAGE AWAY FROM ALL WINDOW WELLS AND FOUNDATIONS
 - CONSTRUCTION OF SWALES TO PROVIDE DRAINAGE AWAY FROM STRUCTURES MAY BE NECESSARY AND IS THE RESPONSIBILITY OF THE CONTRACTOR
 - WINDOW WELLS SHALL BE SET TO TOP OF FOUNDATION ELEVATION OR WHERE ADEQUATE DRAINAGE IS MAINTAINED, WINDOW WELLS SHALL BE INSTALLED A MINIMUM OF 6" ABOVE ADJACENT GRADES ON THE HIGH SIDE OF SLOPING GROUND OR STEPPED FOUNDATIONS
 - BUILDER TO VERIFY DISTANCES AND CONSTRUCTION STAKES WITH FOUNDATION PLANS
 - BUILDER TO PLACE APPROPRIATE BMP'S ALONG PROPERTY DISCHARGE AREAS.
 - CULVERT SIZING PER LARAMIE COUNTY APPROACH PERMIT
 - SEPTIC SYSTEM DESIGN BY OTHERS



PLOT PLAN REVIEWED AND APPROVED
BY PROGRESSIVE CONSTRUCTION INC REPRESENTATIVE
M7 INITIAL 3/18/26 DATE
 DRAWN BY: NG DATE: 3/13/26

PLOT PLAN
TRACT 56
ROUNDTOP RANCH
ESTATES

Dwg. File: H:\4500_Round Top Ranch\4500 ROUNDTOP RANCH PLOT PLANS.dwg Layout: TRACT 56 PLOT PLAN Plot: 3/13/26 - 11:46am

TRACT 56 ROUNDTOP RANCH - PLOT PLAN 3-18-26

DATE:
3/29/2026

SCALE:

SHEET:
P-2

DRAWINGS PROVIDED BY:

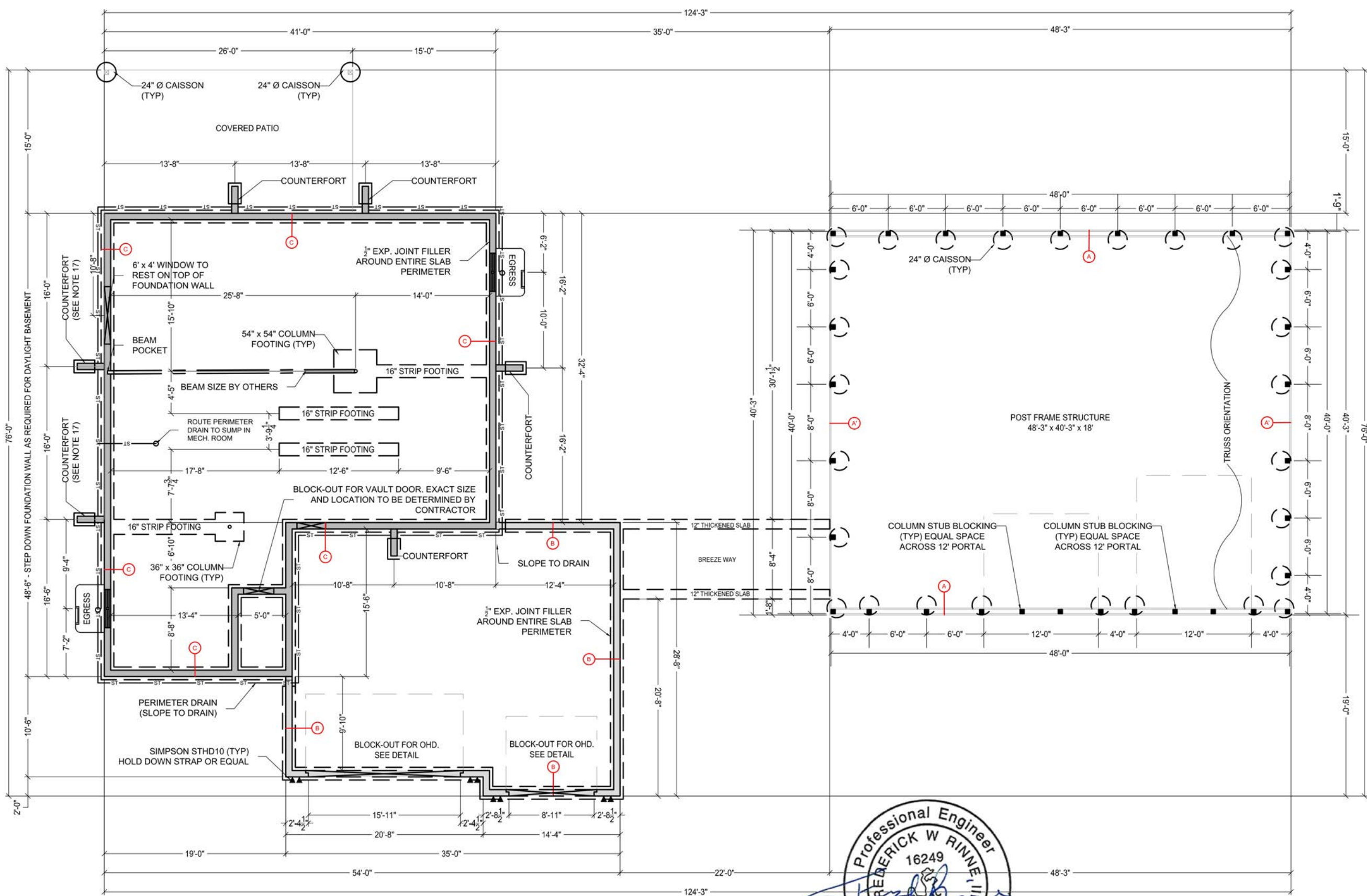


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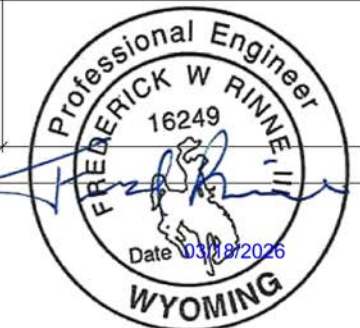
Plot Plan

Tract 56
Roundtop Ranch
Estates



(A) (B) (C) (D)

INDICATES FOUNDATION TYPICAL SECTION AS SHOWN ON SHEET 2



FOUNDATION PLAN
SCALE 1" = 10'-0" (11"x17")

NO.	REVISION	DATE

PREPARED FOR:
PROGRESSIVE CONSTRUCTION
1806 PACIFIC AVE, SUITE 3
CHEYENNE, WY, 82007
(307)-682-7867

PROJECT: SUNSET MOUNTAIN RD
TRACT 56
ROUNDTOP RANCH ESTATES
DRAWING TITLE: FOUNDATION/POST FRAME PLAN



DATE PLOTTED: Mar 18, 2026
DRAWN BY: KVV
DESIGNED BY: KVV
CHECKED BY: TR
JOB NO.: 5079
DWG NO. 1 OF 3

Tract 56
Roundtop Ranch
Estates

Engineered
Drawings



DRAWINGS PROVIDED BY:

DATE:
3/29/2026

SCALE:

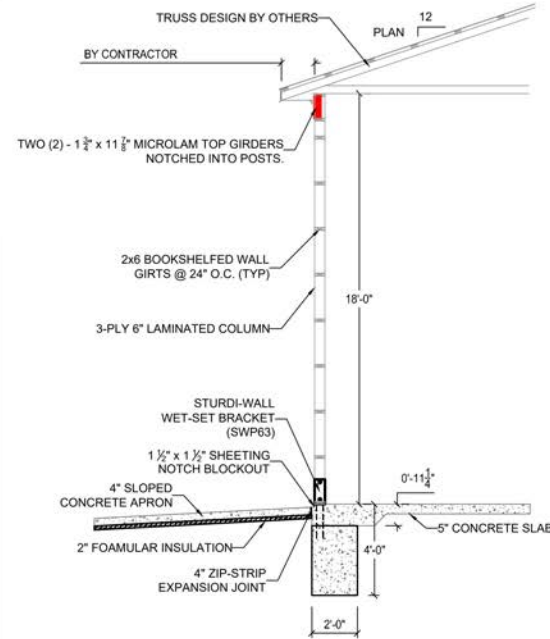
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ED-1

POST FRAME NOTES:

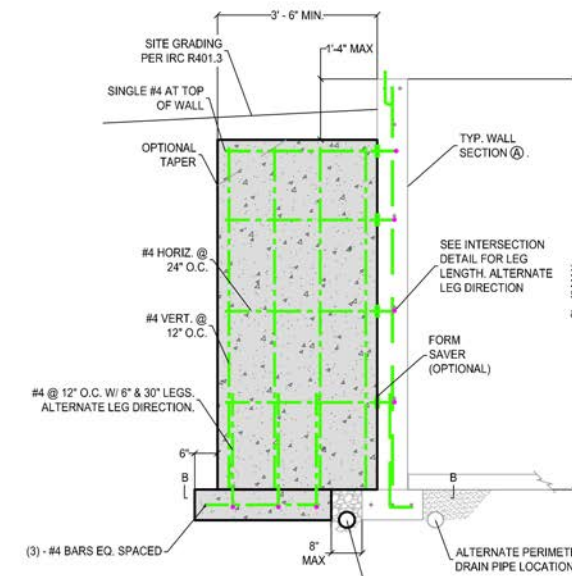
- DESIGN CRITERIA
 - THE PROPOSED STRUCTURE IS INTENDED FOR SINGLE FAMILY RESIDENTIAL USE. FROST PROTECTION DESIGN COMPLIES WITH 2024 IRC, SECTION R403.1.4.1.
 - ROOF DEAD LOAD - 20PSF
 - GROUND SNOW - 32PSF
 - WIND SPEED - 105MPH
 - SOIL BEARING PRESSURE - 1500PSF (ASSUMED)
 - IBC BUILDING CONSTRUCTION TYPE - V
- TRUSS DESIGN, CONNECTION & CONSTRUCTION BY OTHERS.
- THE FINAL STAMPED DESIGN SHALL ONLY INCORPORATE THE FOUNDATION, TRUSS BEARING GIRDERS, POST SIZING AND DETAILED PORTALS (OVERHEAD DOORS) ANY CONNECTORS, FASTENERS, DIAGONAL OR LATERAL BRACING, FRAMING, BLOCKING, ETC. NOT SPECIFICALLY LISTED OR DETAILED IN THE FINAL STAMPED PLANS, ARE NOT A PART OF THIS DESIGN AND SHALL BE PRESCRIPTIVE OR SPECIFIED BY OTHERS.
- LAYOUT AND WALL HEIGHT BASED OFF CUSTOMER PROVIDED DRAWINGS.
- WINDOWS & SERVICE DOORS ARE NOT SHOWN, REFER TO OTHER DRAWINGS. POST, O.H. PORTALS, WINDOWS AND SERVICE DOOR LOCATIONS MAY BE MODIFIED OR ADDED IN THE FIELD WITH THE FOLLOWING LIMITATION(S)
 - TYPICAL MAIN STRUCTURE POST SPACING NOT TO EXCEED 8' O.C.
 - TYPICAL LEAN-TO POST SPACING NOT TO EXCEED 12' O.C. AT ≤ 12' WIDTH.
 - O.H. PORTAL FRAMING SHALL COMPLY WITH DETAILS AS SHOWN.
 - CONTRACTOR SHALL MAINTAIN PORTAL/STRUCTURE CORNER SEPARATION TO PROVIDE FOR DIAGONAL CROSS BRACING AS REQUIRED.
- A' INTERIOR TOP GIRDER NOT REQUIRED ON NON TRUSS BEARING WALLS (GABLES).
- CONCRETE SURFACING (SLABS) IF SHOWN ARE FOR REFERENCE ONLY, AND MAY NOT BE APPLICABLE TO ALL STRUCTURES.
- CONCRETE FILL FOR CAISSONS IF SPECIFIED SHALL BE 3500 PSI MIX DESIGN.
- RE ALL LUMBER OR TIMBER MATERIAL IN CONTACT WITH GROUND OR CONCRETE SURFACING SHALL BE RATED FOR 'GROUND CONTACT'.
- ALL EXPOSED LUMBER OR TIMBER (EXCLUDING COVERED RAFTERS) SHALL BE PRESSURE TREATED, CEDAR, REDWOOD, OR TREATED IN THE FIELD.
- RAFTER SIZING AND SPACING SHALL BE S-P-F #2 OR BETTER, SIZE AND SPACING PER PLANS & DETAILS.
- TRUSS AND RAFTER LOAD BEARING GIRDER FASTENERS SHALL FOLLOW THE TABLE BELOW.

ACCEPTABLE FASTENER OPTIONS	CONTINUOUS TRUSS SPAN		AWNING RAFTERS
	SPAN ≤ 40' LVL GIRDER/HEADER	40' < SPAN ≤ 60' LVL GIRDER/HEADER	SPAN ≤ 12' 2x12 GIRDER
2" x 9.5" GALVANIZED CARRIAGE BOLT	TWO (2) TOTAL	TWO (2) TOTAL	TWO (2) TOTAL
2" x 6" 'SPAX POWER LAG'	SIX (6) TOTAL - (THREE EACH POST FACE)	EIGHT (8) TOTAL - (FOUR EACH POST FACE)	TWO (2) TOTAL - (TWO EACH POST FACE)
6" MIN. 'SIMPSON STRONG TIE SSD 22500'	N/A	N/A	FOUR (4) TOTAL - (TWO EACH POST FACE) 6" MIN. SIMPSON STRONG TIE SSD 22500

- SOIL GRADES ADJACENT THE STRUCTURE SHALL SLOPE AT A MINIMUM OF 5% AWAY FROM THE STRUCTURE FOR 10' HORIZONTALLY MINIMUM.
- CONCRETE OR HOT PLANT MIX PAVEMENT SURFACING ADJACENT THE STRUCTURE SHALL SLOPE AT A MINIMUM OF 2% AWAY FROM THE STRUCTURE.
- RESIDENTIAL USE NOTE
 - OWNER IS ADVISED THAT IF APPLICABLE, ADDITIONAL COORDINATION/DESIGN EFFORTS MAY BE REQUIRED WITH THE LARAMIE COUNTY BUILDING DEPARTMENT FOR APPROVAL OF "POST FRAME CONSTRUCTION" METHODS AND THE APPLICATION OF IRC CODE REQUIREMENTS FOR RESIDENTIAL USE. ENGINEER MAKES NO GUARANTEE AS TO THE OWNER/CONTRACTORS ABILITY TO COMPLY WITH IRC CODE REQUIREMENTS FOR SUCH STRUCTURES.



TYPICAL POST FRAME DETAIL SECTION A

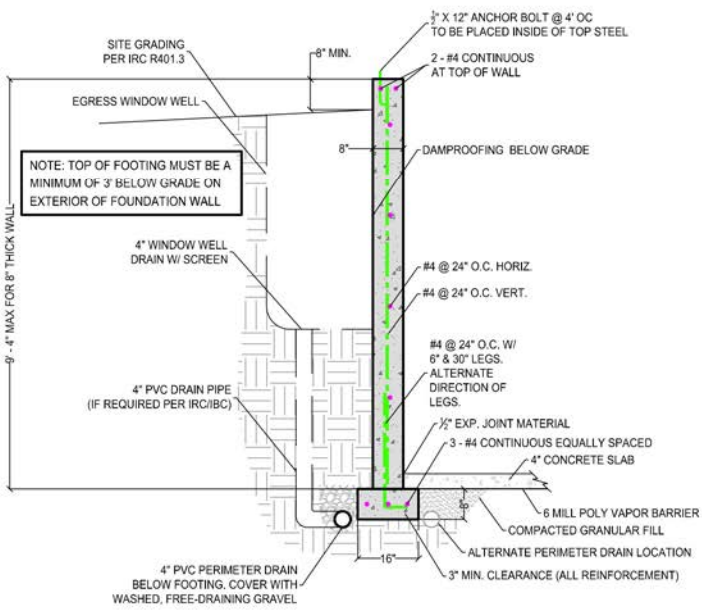


COUNTERFORT DETAIL

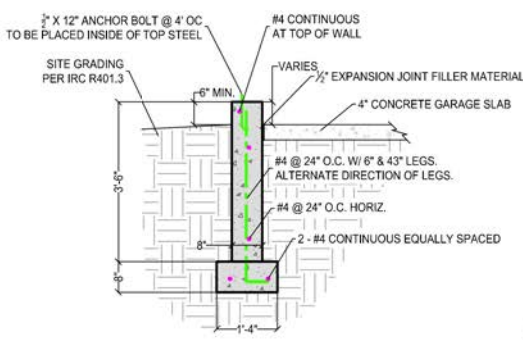
CONCRETE FOUNDATION NOTES:

- FOUNDATION DESIGN IS BASED ON ARCHITECTURAL AND TRUSS DRAWINGS PROVIDED BY THE CONTRACTOR. IF THESE DRAWINGS ARE REVISED OR MODIFIED FOLLOWING THE DATE OF THESE PLANS, THE CONTRACTOR SHOULD VERIFY WITH THE ENGINEER THE ADEQUACY OF THESE PLANS.
- FOUNDATION DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF.
- ROOF LOADING SHALL BE BEARING ON EXTERIOR WALL LINES. NO INTERIOR ROOF BEARING IS PROVIDED UNLESS EXPLICITLY CALLED OUT IN THE PLANS. CONSULTATION SHOULD BE MADE WITH THE ENGINEER IF INTERIOR ROOF LOADING IS REQUIRED.
- FLOOR LOADING DESIGN CRITERIA:
 - DEAD = 20 PSF
 - LIVE = 40 PSF
- DECK LOADING DESIGN CRITERIA:
 - DEAD = 20 PSF
 - LIVE = 40 PSF
 - SNOW = 32 PSF
- FOUNDATION COMPONENT CONCRETE MIX DESIGN TABLE BELOW:

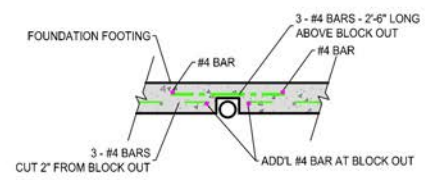
COMPONENT	28-DAY COMPRESSIVE STRENGTH	AIR CONTENT	MAX CHLORIDE ION CONTENT
INTERIOR BASEMENT WALLS, FOOTING AND OTHER CONCRETE NOT EXPOSED TO WEATHER	2500 PSI	NR	1.00%
BASEMENT SLABS AND INTERIOR SLABS-ON-GROUND, EXCEPT GARAGE FLOOR SLABS	2500 PSI	NR	1.00%
EXTERIOR FOUNDATION WALLS, MONOLITHIC FLOOR SLABS (NO STEEL TROWEL FINISH), PIERS AND OTHER VERTICAL CONCRETE EXPOSED TO WEATHER	3000 PSI	5% - 7%	0.30%
PORCHES, CARPORT SLABS, AND STEPS EXPOSED TO WEATHER, AND GARAGE FLOOR SLABS - WITHOUT STEEL TROWEL FINISH	3500 PSI	5% - 7%	0.15%
MONOLITHIC FLOOR SLABS AND GARAGE FLOOR SLABS - WITH STEEL TROWEL FINISH	4000 PSI	3% - 7%	0.15%
- ALL REINFORCING STEEL SHALL BE NEW BILLET, GRADE 60.
- ALL SPLICES IN WALL REBAR SHALL NOT BE LESS THAN 18" AND SHALL BE TIED IN 3 LOCATIONS, UNLESS OTHERWISE SHOWN. ATTACH END AND CENTER OF SPLICE.
- CONCRETE FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL.
- ALL CONCRETE FOOTINGS SHALL BE 8" THICK UNLESS OTHERWISE SHOWN AND SHALL BE BELOW FROST LINE.
- NO BACKFILL SHALL BE PLACED AGAINST BASEMENT WALL UNTIL FLOOR SYSTEM IS IN PLACE OR ADEQUATE BRACING IS INSTALLED.
- BACKFILL SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE (>5%) AWAY FROM STRUCTURE.
- PARTITIONS SHALL BE ISOLATED FROM ON-GRADE SLABS. SLABS SHALL BE ISOLATED FROM GRADE BEAMS, COLUMNS OR OTHER SUPPORT STRUCTURE, AND PLUMBING PIPES BY USE OF 1/2" EXPANSION JOINT MATERIAL.
- RETAINING WALL FOOTERS AND STEM WALLS SHALL BE ISOLATED FROM MAIN STRUCTURE WALLS AND FOOTERS. BACKFILL AGAINST UN-BALANCED PORTION OF STEM WALL SHALL NOT OCCUR UNTIL 28 DAYS FROM POUR, OR ADEQUATE BRACING IS INSTALLED.
- FOUNDATION SILL PLATES SHALL BE ATTACHED WITH MINIMUM 1/2" X 12" ANCHOR BOLTS WITH 8" EMBED, SPACED NO MORE THAN 4' O.C. AND AT EACH END OF LUMBER. ANCHOR BOLTS SHALL NOT BE LESS THAN 12" FROM CORNERS. ANCHOR BOLTS SHALL BE A MINIMUM OF 2" INSIDE CONCRETE WALL ON EXTERIOR WALLS.
- PORTAL FRAMING SHALL BE PER 2024 IRC FIGURE R602.10.2.
- COUNTERFORT(S) MAY BE ELIMINATED IF FOUNDATION HEIGHT IS STEPPED AND RESULTS IN WALL HEIGHT LESS THAN 3 FOOT.
- THIS DRAWING COVERS ONLY FOUNDATION DESIGN DETAILS WHICH ARE PART OF THE FOUNDATION, BEAMS, HEADERS, ETC. ARE NOT A PART OF THIS DESIGN UNLESS EXPLICITLY CALLED OUT.
- MINIMUM 'LVL' SPECIFICATION (IF CALLED OUT IN PLAN)
 - MODULUS OF ELASTICITY 'E' = 1.6
 - MOMENT CAPACITY 'F_b' = 2250
- EGRESS LOCATION(S) MAY BE RELOCATED IN THE FIELD BY THE CONTRACTOR PER IRC R310 & R311.
- CONTRACTOR RESPONSIBILITIES
 - DETERMINE LOCATIONS OF BLOCK OUT FOR DOORS, WINDOWS, AND BEAM POCKETS.
 - VERIFY ALL DIMENSIONS SHOWN WITH ARCHITECTURAL PLANS.
 - VERIFY STEM WALL HEIGHT.
 - DETERMINE STEM WALL STEP DOWN LOCATIONS FOR WALK-OUT AND GARDEN LEVEL SITES FOLLOWING DETAILS
 - VERIFY TOP OF FOUNDATION WALL ELEVATION AND SITE GRADES TO PROVIDE FOR REQUIRED DRAINAGE REQUIREMENTS.
- CHANGES TO THE FOUNDATION SHOULD NOT BE MADE WITHOUT CONSULTATION WITH THE ENGINEER.



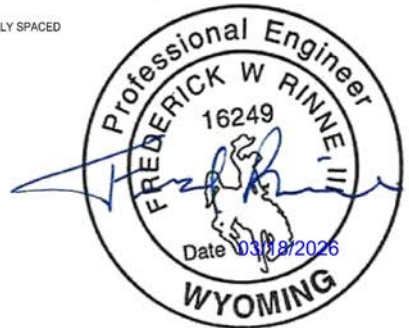
TYPICAL FOUNDATION DETAIL SECTION C



GARAGE FOUNDATION DETAIL SECTION B



DRAIN BLOCK OUT AT FOOTING DETAIL



DATE	
REVISION	
NO.	
PREPARED FOR: PROGRESSIVE CONSTRUCTION 1806 PACIFIC AVE, SUITE 3 CHEYENNE, WY, 82007 (307)-682-7867	
PROJECT:	SUNSET MOUNTAIN RD TRACT 56 ROUNDTOP RANCH ESTATES
DRAWING TITLE:	FOUNDATION/POST FRAME DETAIL
DATE PLOTTED:	Mar 18, 2026
DRAWN BY:	KVW
DESIGNED BY:	KVW
CHECKED BY:	TR
JOB NO.:	5079
DWG NO.	2 OF 3

Tract 56 Roundtop Ranch Estates

Engineered Drawings

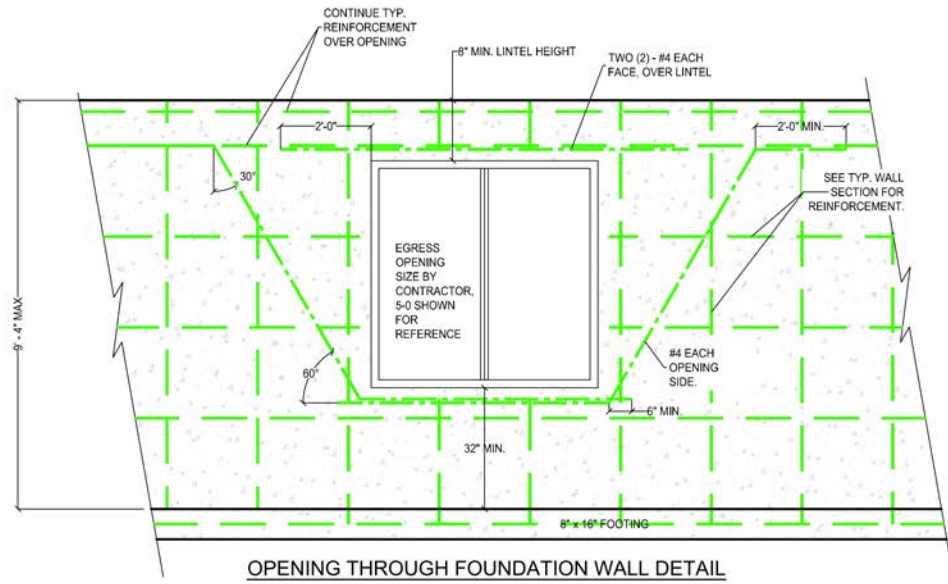
CLIENT INFO:
PROGRESSIVE CONSTRUCTION, INC.
 1806 PACIFIC AVE, SUITE 3
 CHEYENNE, WY, 82007
 (307)-682-7867

DRAWINGS PROVIDED BY:

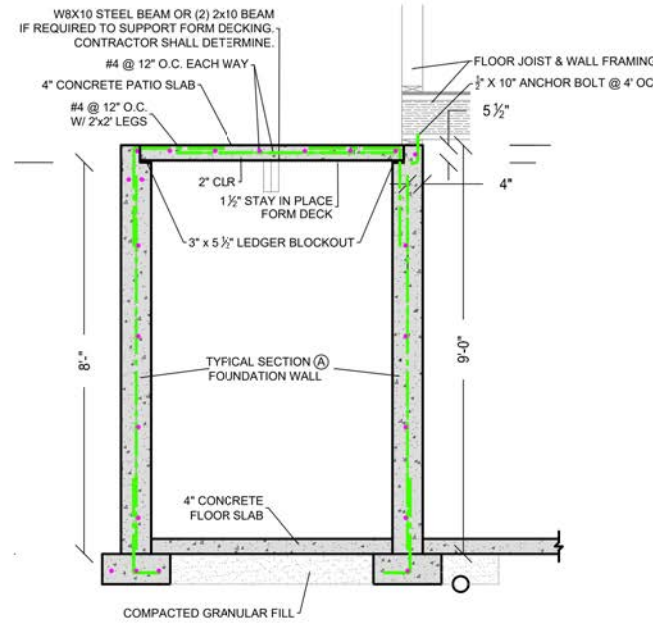
DATE: 3/29/2026

SCALE:

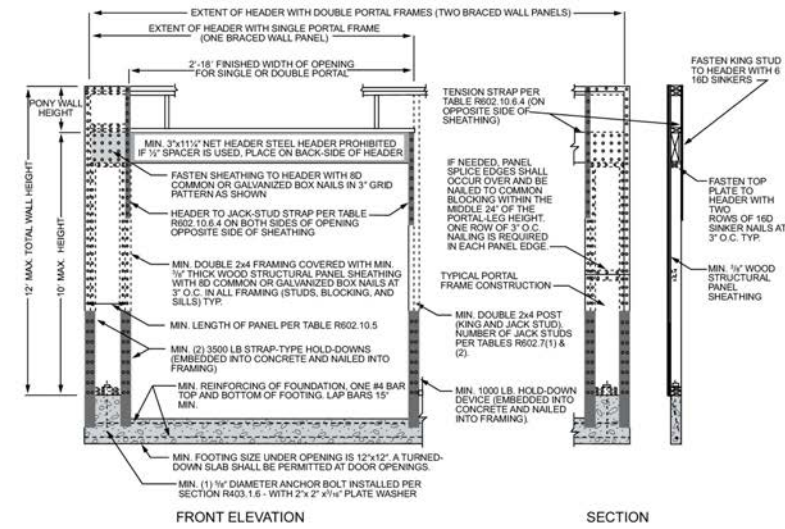
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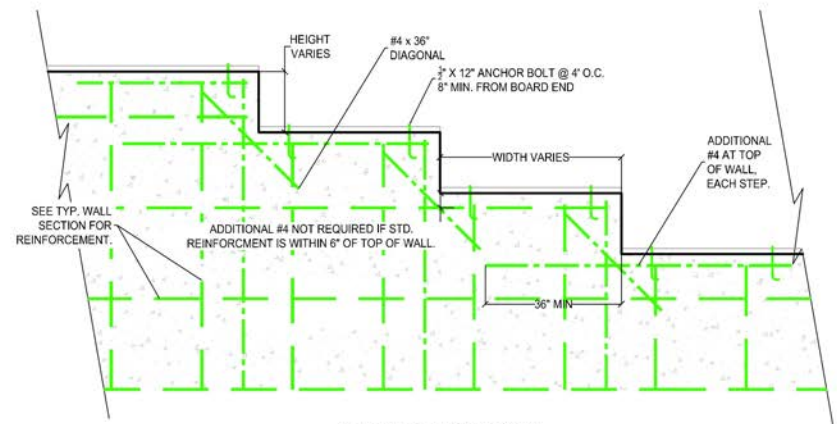
OPENING THROUGH FOUNDATION WALL DETAIL



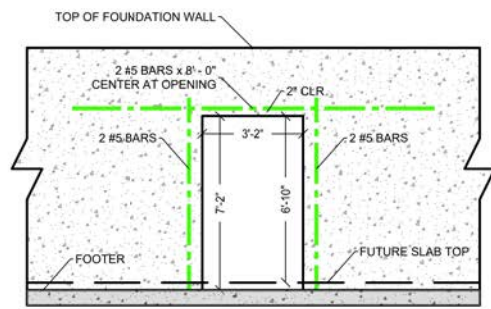
TYPICAL VAULT DETAIL



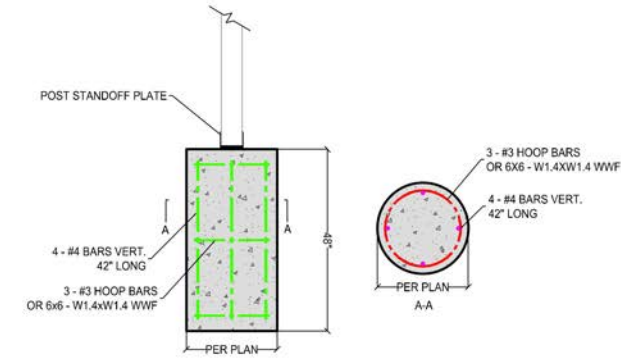
BRACED WALL PANEL AT O.H. GARAGE DOOR
IRC 2024 FIG. R602.10.6.2



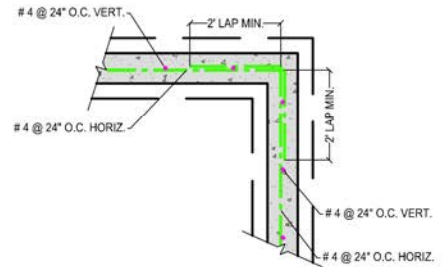
FOUNDATION STEP NTS LOCATION BY CONTRACTOR



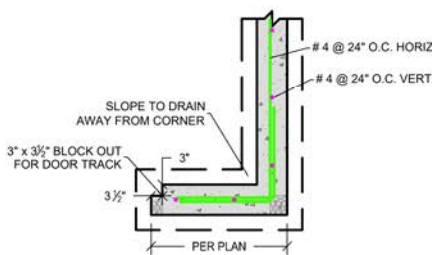
TYPICAL VAULT DOOR DETAIL



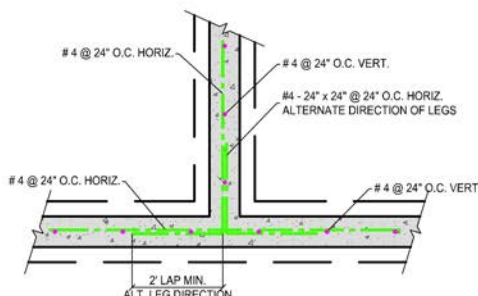
CONCRETE CAISSON DETAIL



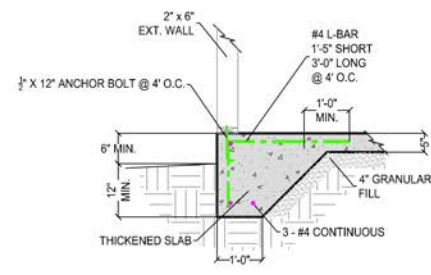
CORNER DETAIL



GARAGE BLOCKOUT DETAIL



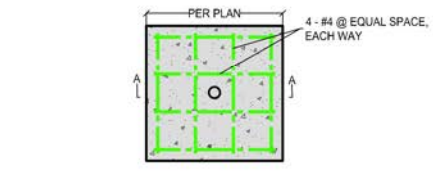
INTERSECTION DETAIL



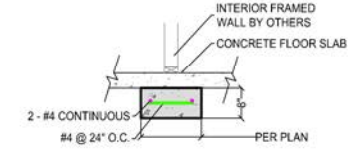
THICKENED SLAB DETAIL



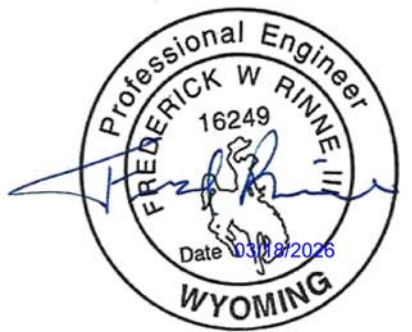
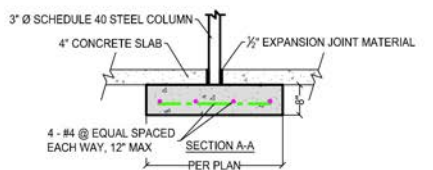
BASEMENT TO FOUNDATION WALL DETAIL



COLUMN PAD AND POST ISOLATION DETAIL



STRIP FOOTING DETAIL



DATE	REVISION	NO.

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PROGRESSIVE CONSTRUCTION
1806 PACIFIC AVE, SUITE 3
CHEYENNE, WY, 82007
(307)-682-7867

PROJECT: SUNSET MOUNTAIN RD
TRACT 56
ROUNDTOP RANCH ESTATES
DRAWING TITLE: FOUNDATION/POST FRAME DETAIL



DATE PLOTTED: Mar 18, 2026
DRAWN BY: KVV
DESIGNED BY: KVV
CHECKED BY: TR
JOB NO.: 5079

DWG NO. 3 OF 3

Tract 56 Roundtop Ranch Estates

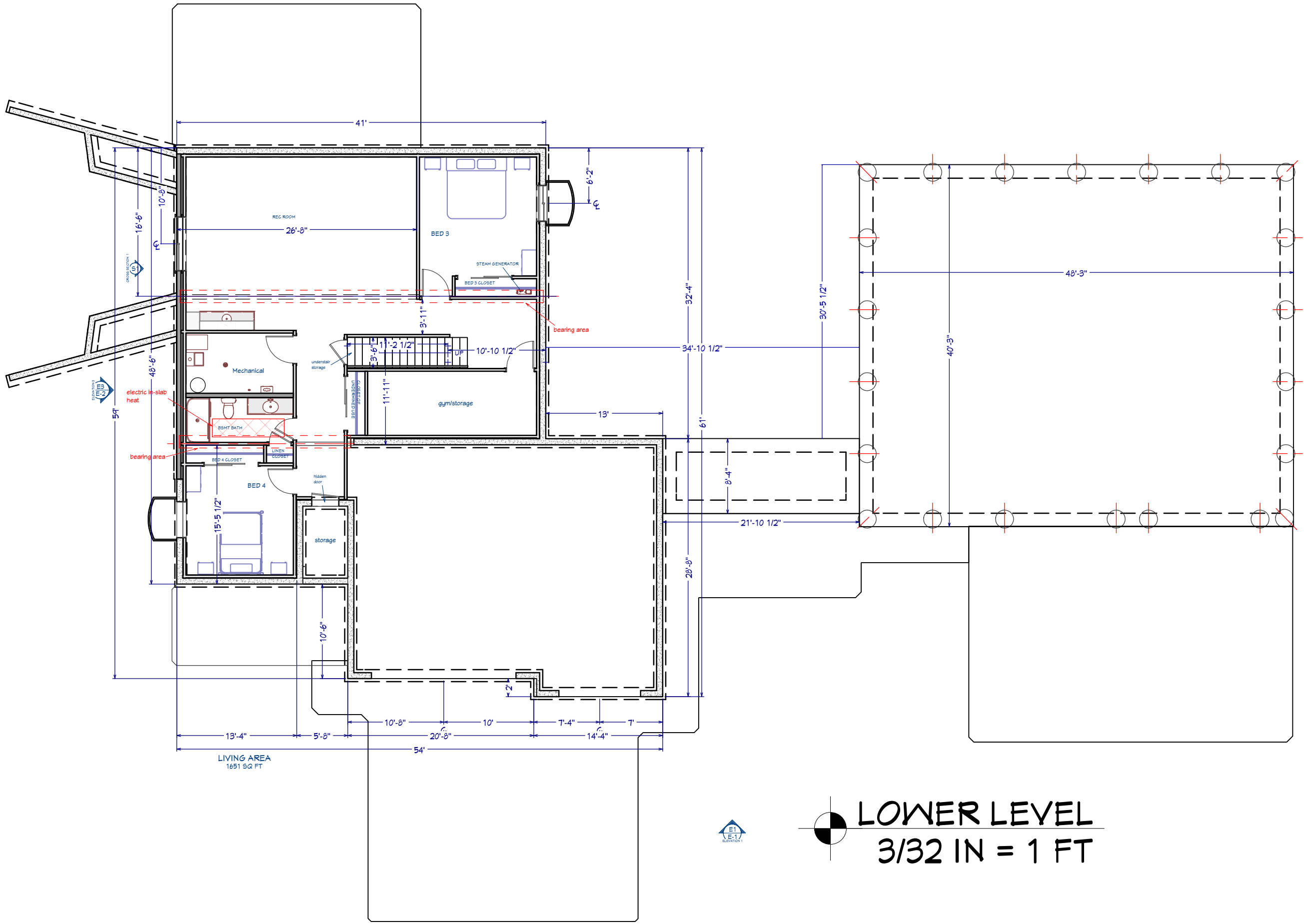
Engineered Drawings



DATE: 3/29/2026

SCALE:

SHEET: ED-3



LIVING AREA
1651 SQ FT

LOWER LEVEL
3/32 IN = 1 FT

Tract 56
Roundtop Ranch
Estates

Plan View

CLIENT INFO:

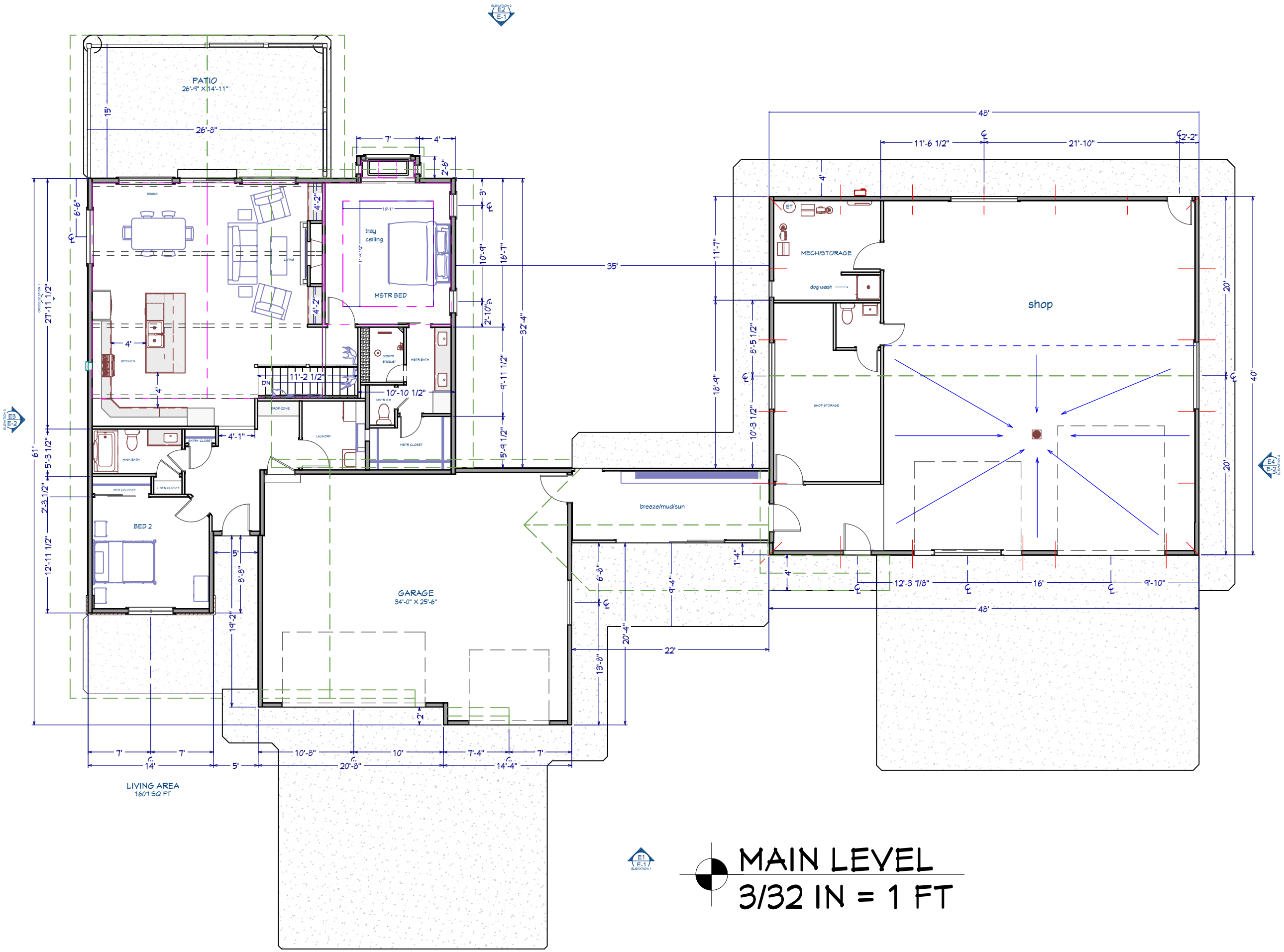


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PROVIDED
BY:

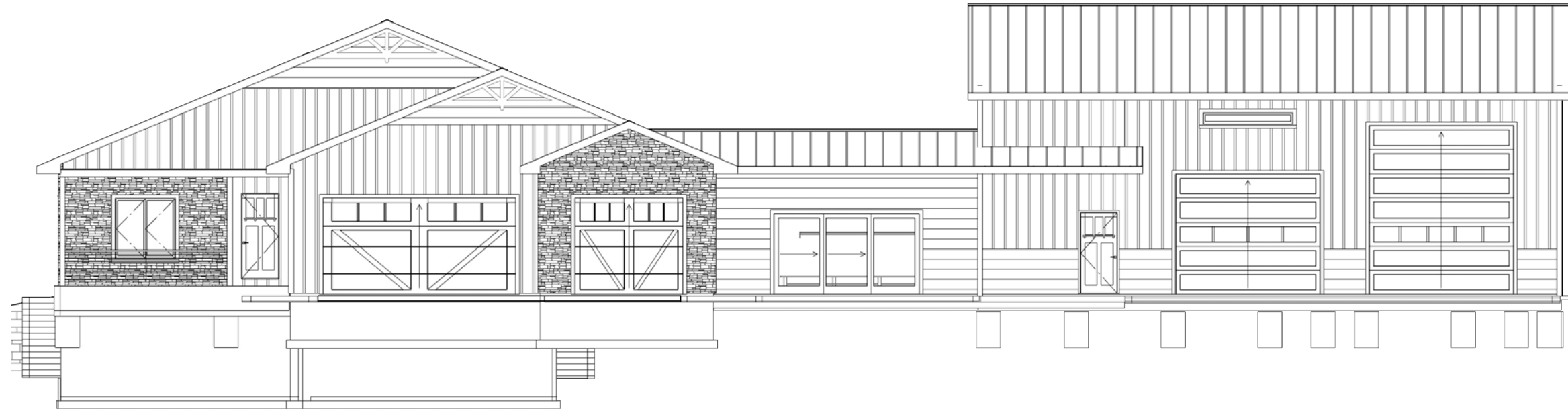
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3/29/2026

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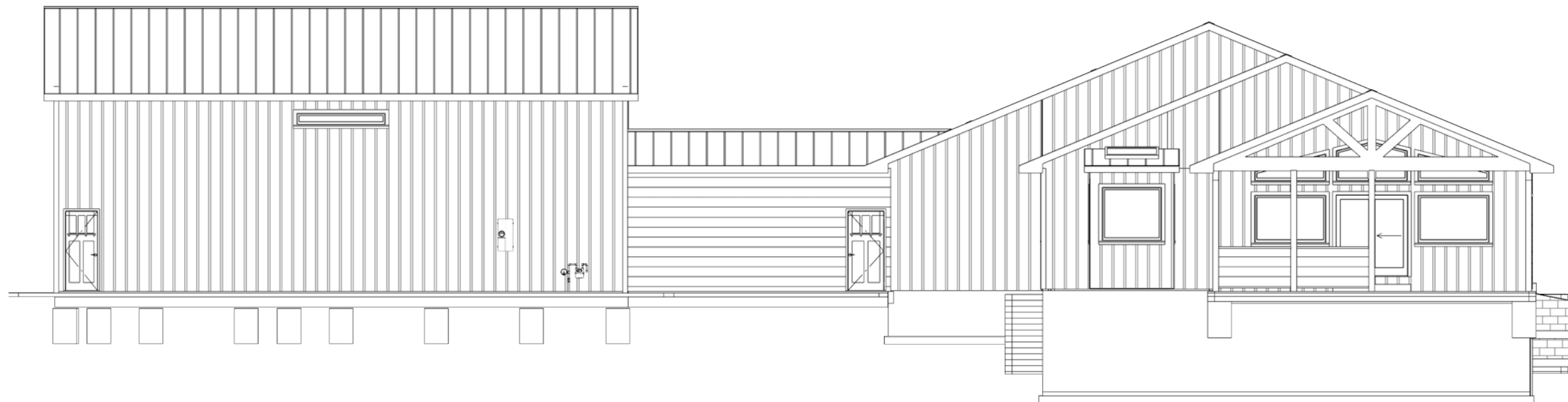
SHEET:
A-1



MAIN LEVEL
3/32 IN = 1 FT



E1 ELEVATION 1
3/32 IN = 1 FT

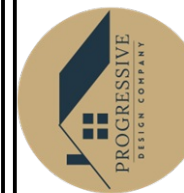


E2 ELEVATION 2
3/32 IN = 1 FT

Tract 56
Roundtop Ranch
Estates

Elevations

CLIENT INFO:



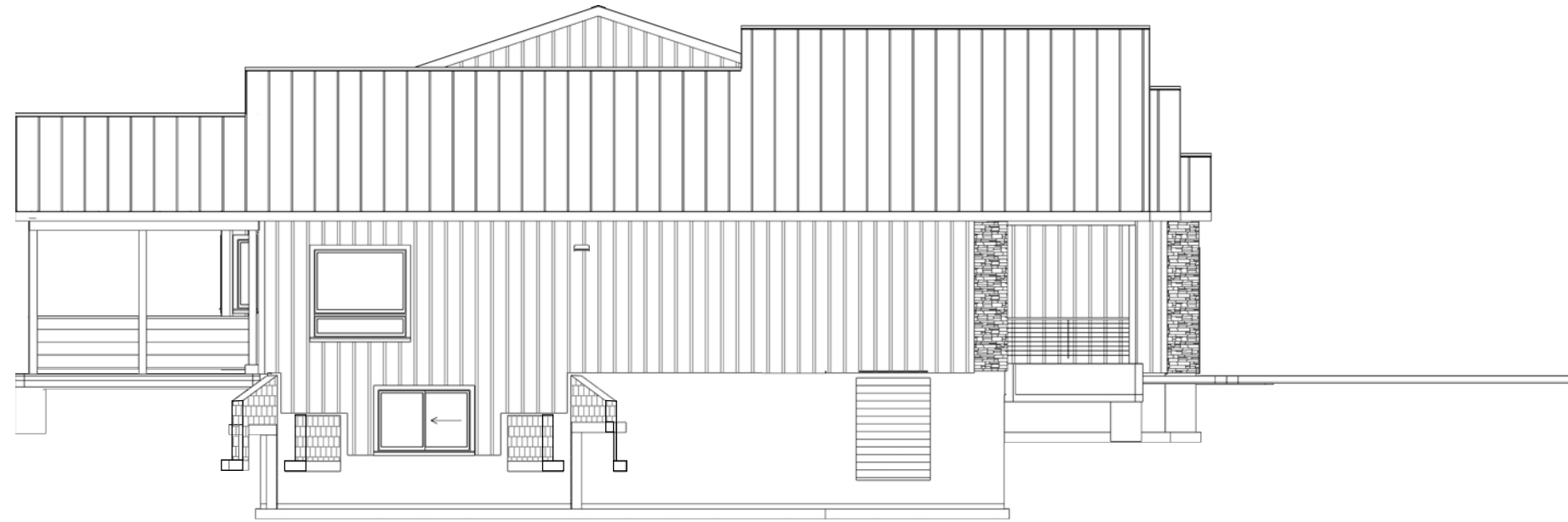
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3/29/2026

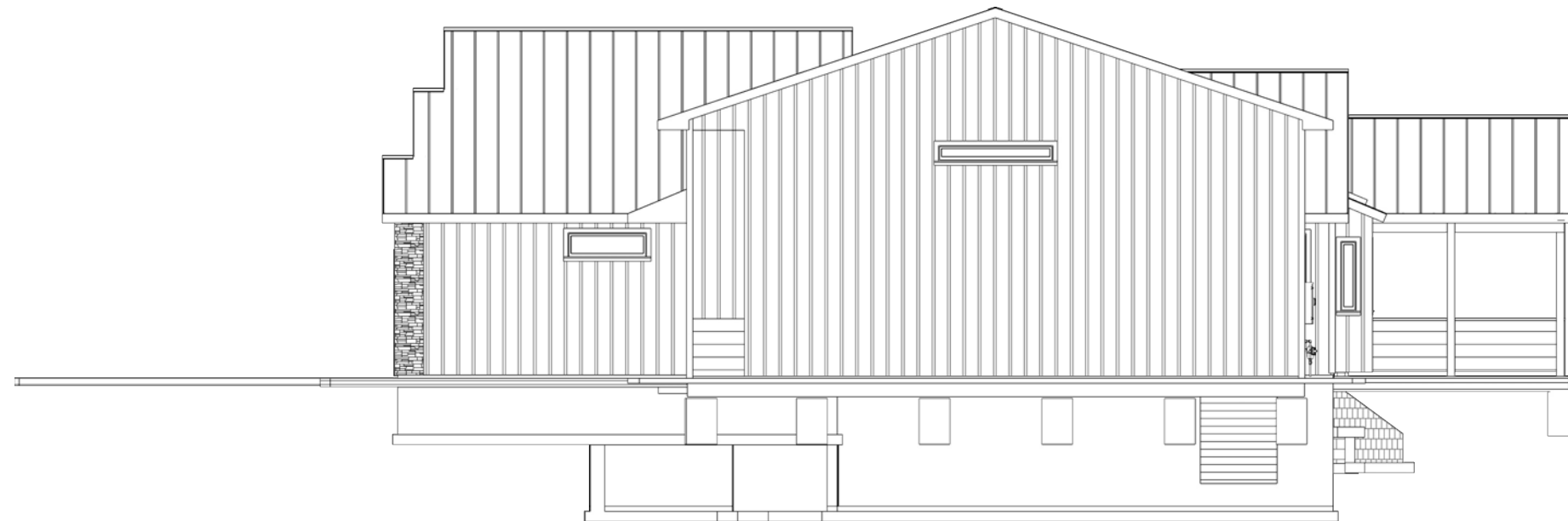
SCALE:

SHEET:

E-1



E3 ELEVATION 3
3/32 IN = 1 FT



E4 ELEVATION 4
3/32 IN = 1 FT

Tract 56
Roundtop Ranch
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SHEET:

E-2